



424 N. Sappington Road Glendale, Missouri 63122 (314) 965-3600 fax (314) 965-4772

## APPLICATION FOR ARCHITECTURAL REVIEW BOARD

APPLICATION DATE 6/29/23 DATE OF ARB MEETING \_\_\_\_\_ ESTIMATED COST \_\_\_\_\_

PROJECT ADDRESS 302 North Sappington Rd GLENDALE, MO 63122

NAME OF PROPERTY OWNER Mark & Aimee Cordes PHONE NUMBER (314) 402-8603

CONTRACTOR (NAME) Iconic Construction PHONE NUMBER 314-600-6451

CONTRACTOR ADDRESS 2087 Bentley Plaza, Fenton, MO 63026

ARCHITECT (NAME) Sierra Langel PHONE NUMBER 314-456-6112

ARCHITECT ADDRESS 2087 Bentley Plaza, Fenton, MO 63026

DETAILED DESCRIPTION OF WORK BEING PROPOSED: Garage Addition

FLOOR AREA RATIO 1,165 (FAR = Floor area divided by total area of lot. Floor area includes all areas provided with heat and/or air conditioning. All living space with ceiling heights of sixteen (16) feet or greater shall be counted at 200%. Attached garages shall be counted at 50%. Exclude any finished or unfinished basement, a detached garage, and any unenclosed porch).

TOTAL FLOOR AREA OF NEW CONSTRUCTION (SQ. FT.) 638

TOTAL FLOOR AREA OF EXISTING STRUCTURE (SQ. FT.) 313

TOTAL SQ. FT. OF LOT 8,407 WIDTH AND DEPTH OF LOT (FT.) 60 x 140

HEIGHT OF STRUCTURE 22'8" NUMBER OF STORIES 2

ESTIMATED COMMENCE DATE 8/1/23 EST. COMPLETION DATE 9/30/23

**Each application shall be accompanied with payment of a fee as follows:**

**Addition or Accessory Structure: \$150.00**

**New Home: \$200.00**

**Applications must also include 10 copies of the following items collated into individual packets. Packets not collated may be accepted for scheduling purposes, but will be returned to applicants for collation and are due no later than 12:00 p.m. one week prior to the scheduled ARB meeting. (Please check each item included):**

**SITE AND LANDSCAPE NOTES:**

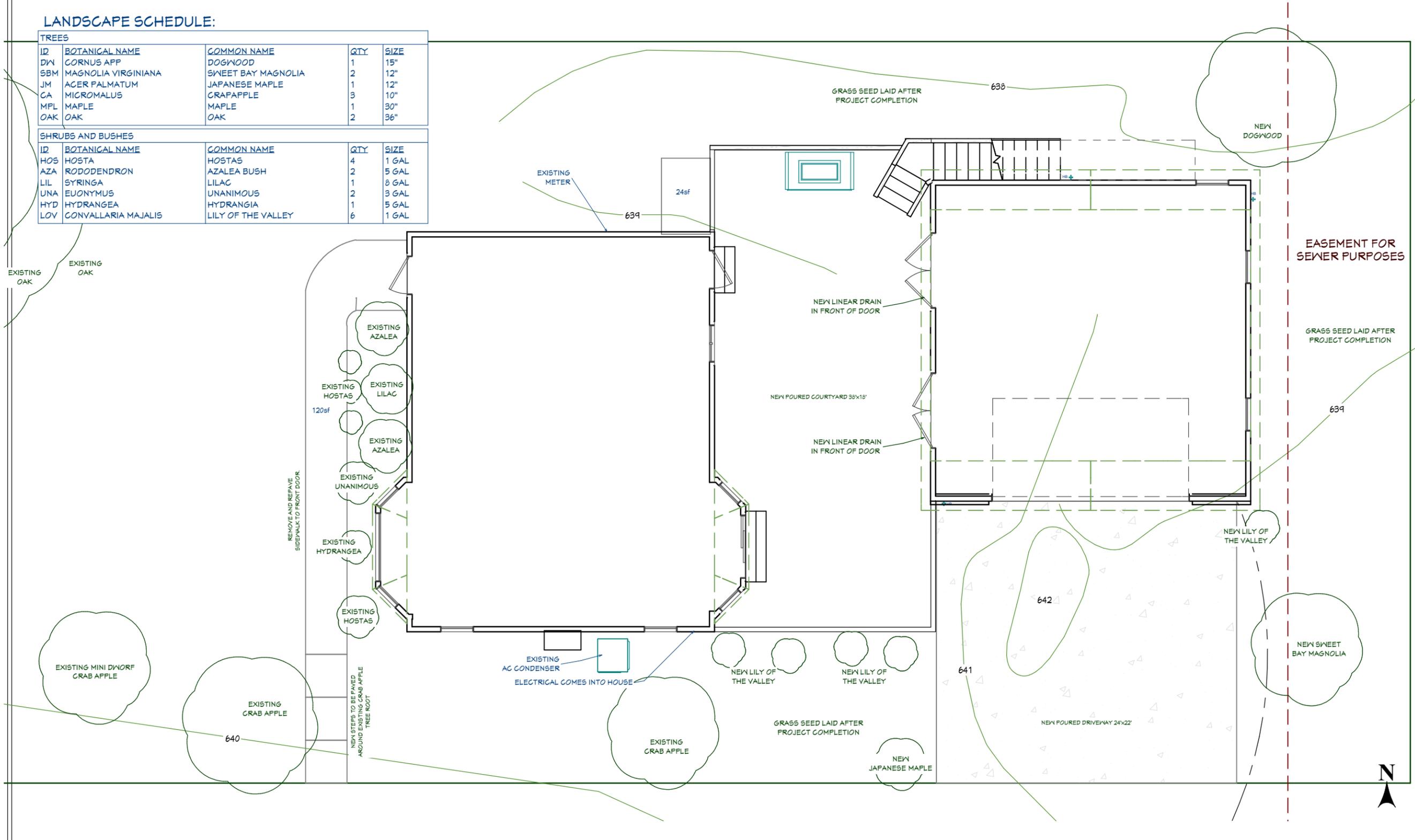
1. ALL FINAL LANDSCAPING WILL BE DONE BY HOMEOWNERS AFTER CONTRACTORS SCOPE OF WORK
2. NO TREES WILL BE REMOVED DURING SCOPE OF PROJECT
3. SHRUBS WILL BE REMOVED BY HOMEOWNERS AROUND FRONT DOOR AND EXISTING DRIVEWAY TO ALLOW FOR PROPER GRADING FOR PROPOSED GARAGE ADDITION
4. CONTRACTOR SHALL VERIFY LOCATION OF ALL ABOVE AND BELOW GROUND UTILITIES PRIOR TO ANY WORK
5. CONTRACTOR SHALL REMOVE ALL EXISTING VEGETATION IN SCOPE OF WORK AREA. HOMEOWNERS WILL DEPICT WHICH PLANTS TO SAVE PRIOR TO START OF CONSTRUCTION.
6. CONTRACTOR SHALL APPLY TOP SOIL AS NEEDED TO PROVIDE LEVEL GRADE
7. GRASS SEED WILL BE LAID BY CONTRACTORS AFTER PROJECT COMPLETION
8. MULCH MATERIAL IN PLANTING BEDS SHALL BE HARDWOOD BARK MULCH
9. SILT FENCE WILL BE PROVIDED AROUND PROJECT SITE TO CONTROL SEDIMENT AND RUNOFF

**LANDSCAPE SCHEDULE:**

TREES				
ID	BOTANICAL NAME	COMMON NAME	QTY	SIZE
DW	CORNUS APP	DOGWOOD	1	15"
SBM	MAGNOLIA VIRGINIANA	SWEET BAY MAGNOLIA	2	12"
JM	ACER PALMATUM	JAPANESE MAPLE	1	12"
CA	MICROMALUS	CRAPAPPLE	3	10"
MPL	MAPLE	MAPLE	1	30"
OAK	OAK	OAK	2	36"

SHRUBS AND BUSHES				
ID	BOTANICAL NAME	COMMON NAME	QTY	SIZE
HOS	HOSTA	HOSTAS	4	1 GAL
AZA	RODODENDRON	AZALEA BUSH	2	5 GAL
LIL	SYRINGA	LILAC	1	8 GAL
UNA	EUONYMUS	UNANIMOUS	2	3 GAL
HYD	HYDRANGEA	HYDRANGIA	1	5 GAL
LOV	CONVALLARIA MAJALIS	LILY OF THE VALLEY	6	1 GAL



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**Aimee and Mark Cordes**  
 Garage Addition

**ARB REVIEW**

**302 N Sappington Rd.**  
**St Louis, MO 63122**

**LANDSCAPE PLAN**

PROJECT NUMBER	0000
DATE	5/20/2023
UPDATED	7/6/2023
DRAWN BY	Sierra L

**A8**

SCALE 1/8" = 1'-0"

# ICONIC CONSTRUCTION, LLC.

AIMEE AND MARK CORDES - GARAGE ADDITION  
 302 N SAPPINGTON RD. ST. LOUIS, MO 63122



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COVER SHEET

PROJECT NUMBER	0000
DATE	5/20/2023
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DRAWN BY	Sierra L

A1

SCALE

EXISTING HOUSE



PROPOSED GARAGE ADDITION



### DRAWING LIST

A1	COVER SHEET
A2	ARCHITECTURAL SITE PLAN
A3	EXIST./ DEMO GROUND FLOOR PLAN
A4	ROOF PLAN
A5	GROUND FLOOR/ GARAGE PLAN
A6	2nd FLOOR PLAN
A7	FRONT ELEVATION
A8	REAR ELEVATION
A9	SIDE ELEVATION
A10	SIDE ELEVATION

### APPLICABLE CODES

2015 INTERNATIONAL RESIDENTIAL CODE (IRC)  
 2015 INTERNATIONAL BUILDING CODE (IBC)  
 2015 INTERNATIONAL PROPERTY MAINTENANCE CODE (IPMC)  
 2014 NATIONAL ELECTRIC CODE (NEC)  
 2015 UNIFORM PLUMBING CODE  
 2015 LAND DISTURBANCE CODE



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**SITE INFO**

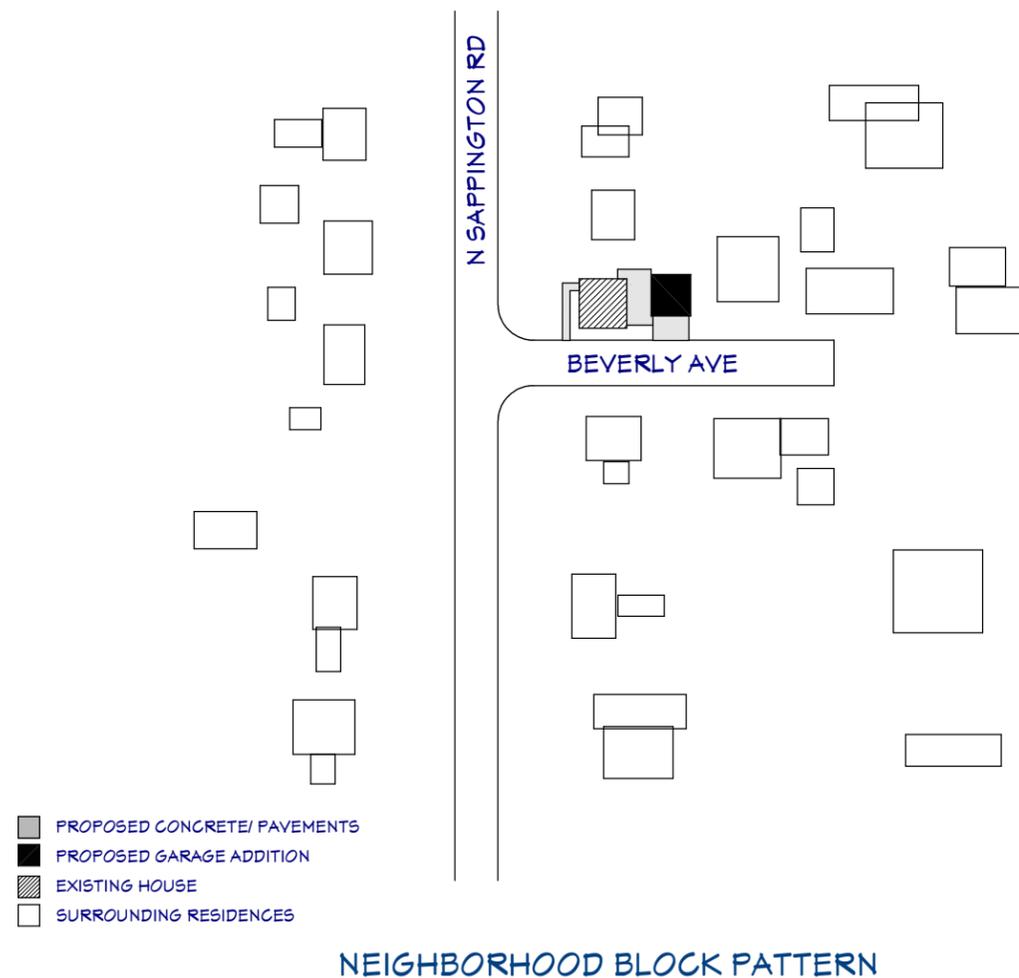
PROJECT NUMBER	0000
DATE	5/20/2023
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DRAWN BY	Sierra L

**A2**

SCALE NTS

**ARCHITECTURAL SITE PLAN GENERAL NOTES:**

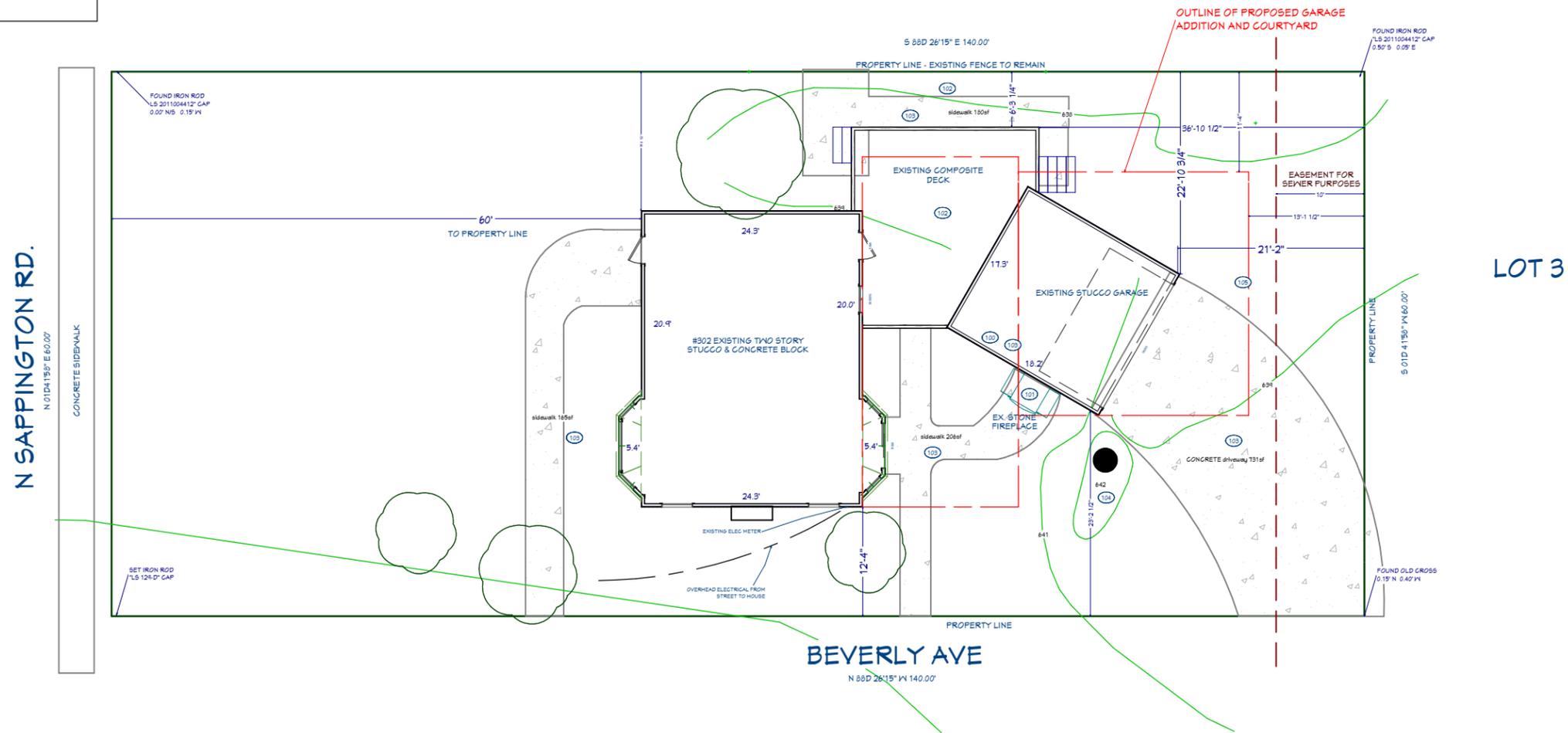
1. GRADE SHALL SLOPE AWAY FROM THE GARAGE FOUNDATION A MINIMUM OF 6" DROP WITHIN THE FIRST 10' OR TO A SWALE.
2. EROSION CONTROL MEASURES: PROVIDE A WOVEN FABRIC SEDIMENT FENCE WITH PRE ATTACHED POSTS AROUND THE PERIMETER OF THE PROJECT SITE. THE FENCE SHALL BE SRW PRODUCTS OR APPROVED EQUAL.
3. THE ATTACHED SITE PLAN WAS PREPARED BY A LICENSED LAND SURVEYOR / ENGINEER - JAMES SURVEYING COMPANY
4. DIMENSIONS LOCATING THE FRONT AND SIDE SET BACKS ARE FROM THE FACE OF THE SHEATHING/ FOUNDATION WALL TO THE LOT LINES, AS SHOWN ON AN EXISTING LOT SURVEY PROVIDED BY THE CONTRACTOR.
5. APPROX LOT AREA: 8,470 SF
6. F.A.R. ALLOWED:  $8,470 * 35\% = 2,964.5$  SF
7. F.A.R. PROPOSED, AREA UNDER ROOF: 638 SF (1/2 OF GARAGE) + 527 (PROPOSED 2nd FLOOR) = 1,165 SF < 2,964.5 SF PERMITTED
8. LOT COVERAGE ALLOWED:  $8,470$  SF \* 30% = 2,541 SF
9. LOT COVERAGE PROPOSED: 1,165 SF < 2,541 SF
10. EXISTING IMPERVIOUS AREA: 2,886 SF (HARD SURFACES) / 8,470 SF = 34.1 %
11. PROPOSED IMPERVIOUS AREA: 2,818 SF (HARD SURFACES) / 8,470 SF = 33.3%
12. GENERAL DRAINAGE WILL BE DIRECTED TO THE NORTH AND SOUTH, PER EXISTING AND NEW GRADING



**DEMO / SITE NOTES**

- 100 DEMO EXISTING GARAGE WALLS, ROOF, FOUNDATION
- 101 DEMO EXISTING STONE FIREPLACE
- 102 DEMO EXISTING COMPOSITE DECK. REMOVE PATIO, STEPS UNDERNEATH, STEPS ALONGSIDE DECK, RAILROAD TIES AND PAVERS
- 103 DEMO EXISTING GARAGE SLAB, DRIVEWAY AND SIDEWALKS
- 104 REMOVE EXISTING SHRUBS AND BUSHES AROUND DRIVEWAY. PROPER EROSION WITH SILT FENCE WILL BE TEMPORARILY INSTALLED, GRADE OUT YARD FOR CONTROLLED DRAINAGE.

\*EXISTING POWER TO GARAGE RAN FROM HOUSE UNDERGROUND



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**EXISTING/ DEMO AND SITE PLAN**

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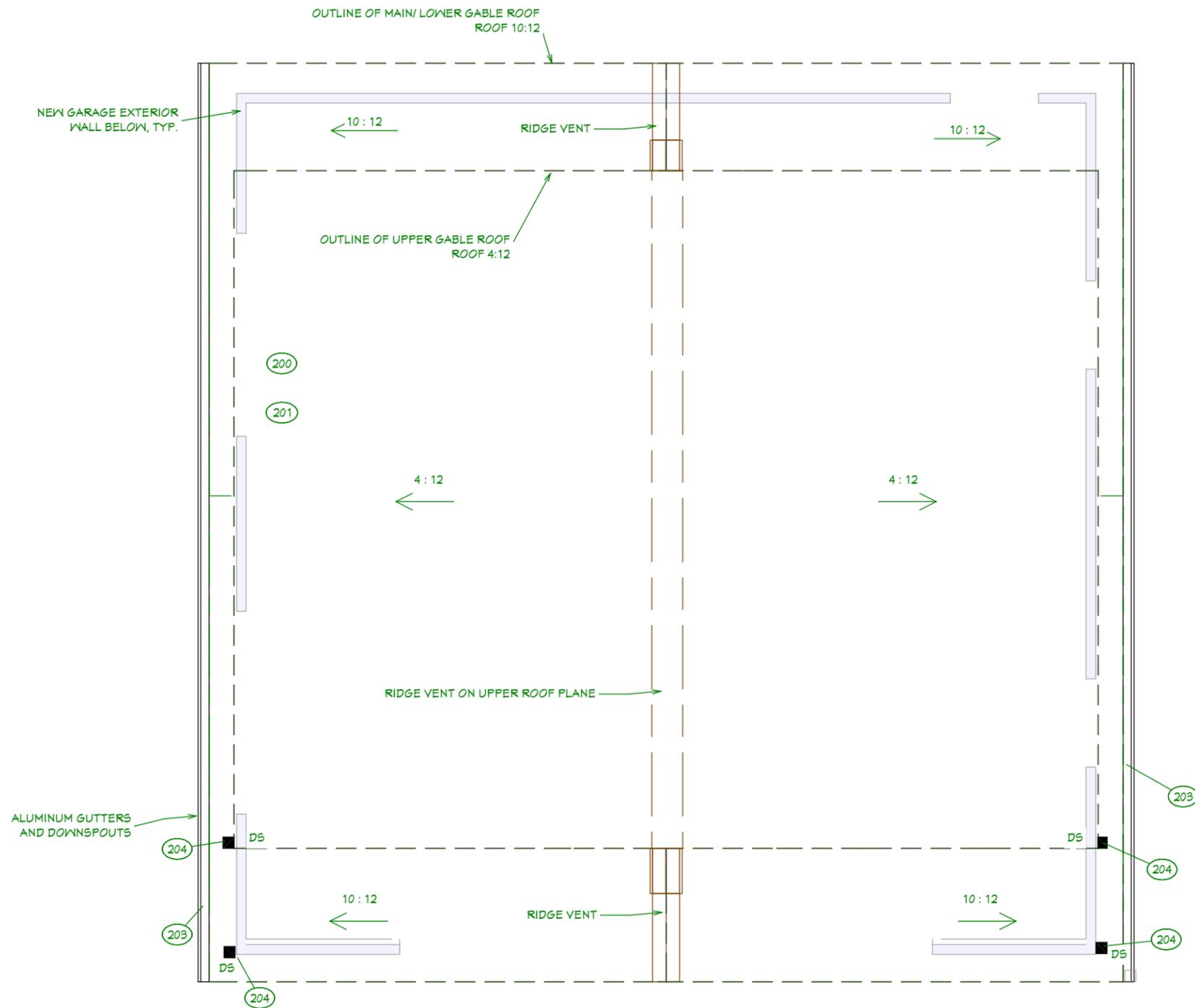
**A3**

SCALE 1/16" = 1'-0"



**ROOF NOTES**

- 200 CERTAINTED MOIRE BLACK ARCHITECTURAL SHINGLES
- 201 PROVIDE 30# FELT ON 1/2" CDX PLYWOOD SHEATHING WITH H-CLIPS WITH ONE PLY SELF-ADHERING MODIFIED BITUMEN UNDERLAYMENT UP TO A POINT OF 24" INSIDE THE EXTERIOR WALL LINE TO PROVIDE ICE-DAM PROTECTION
- 202 UN-PICTURED: 2 NEW BLACK DOWNSPOUTS AND NEW GUTTERS ON MAIN HOUSE
- 203 NEW BLACK GUTTERS AND FASCIA ON GARAGE. LOWER ROOF AND UPPER ROOF
- 204 NEW BLACK DOWNSPOUT



\*GUTTERS TO DRAIN TOWARDS SOUTH STREET TO CITY MAINTAINED DRAINS



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**ROOF PLAN**

PROJECT NUMBER 0000

DATE 5/20/2023

UPDATED 6/30/2023

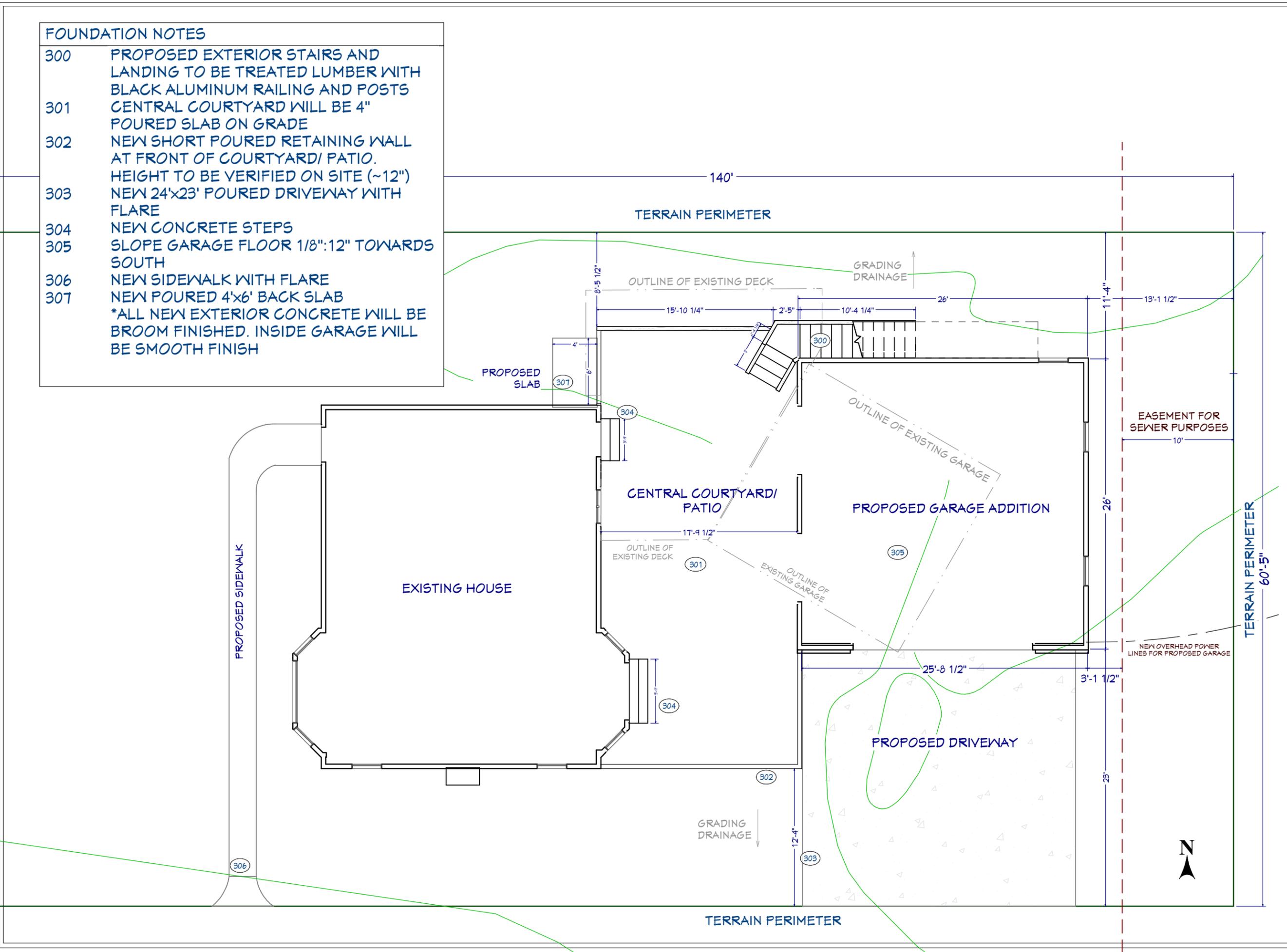
DRAWN BY Sierra L

**A4**

SCALE 1/4" = 1'-0"

**FOUNDATION NOTES**

- 300 PROPOSED EXTERIOR STAIRS AND LANDING TO BE TREATED LUMBER WITH BLACK ALUMINUM RAILING AND POSTS
  - 301 CENTRAL COURTYARD WILL BE 4" POURED SLAB ON GRADE
  - 302 NEW SHORT POURED RETAINING WALL AT FRONT OF COURTYARD/ PATIO. HEIGHT TO BE VERIFIED ON SITE (~12")
  - 303 NEW 24'x23' POURED DRIVEWAY WITH FLARE
  - 304 NEW CONCRETE STEPS
  - 305 SLOPE GARAGE FLOOR 1/8":12" TOWARDS SOUTH
  - 306 NEW SIDEWALK WITH FLARE
  - 307 NEW POURED 4'x6' BACK SLAB
- \*ALL NEW EXTERIOR CONCRETE WILL BE BROOM FINISHED. INSIDE GARAGE WILL BE SMOOTH FINISH



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**FOUNDATION LEVEL PLAN**

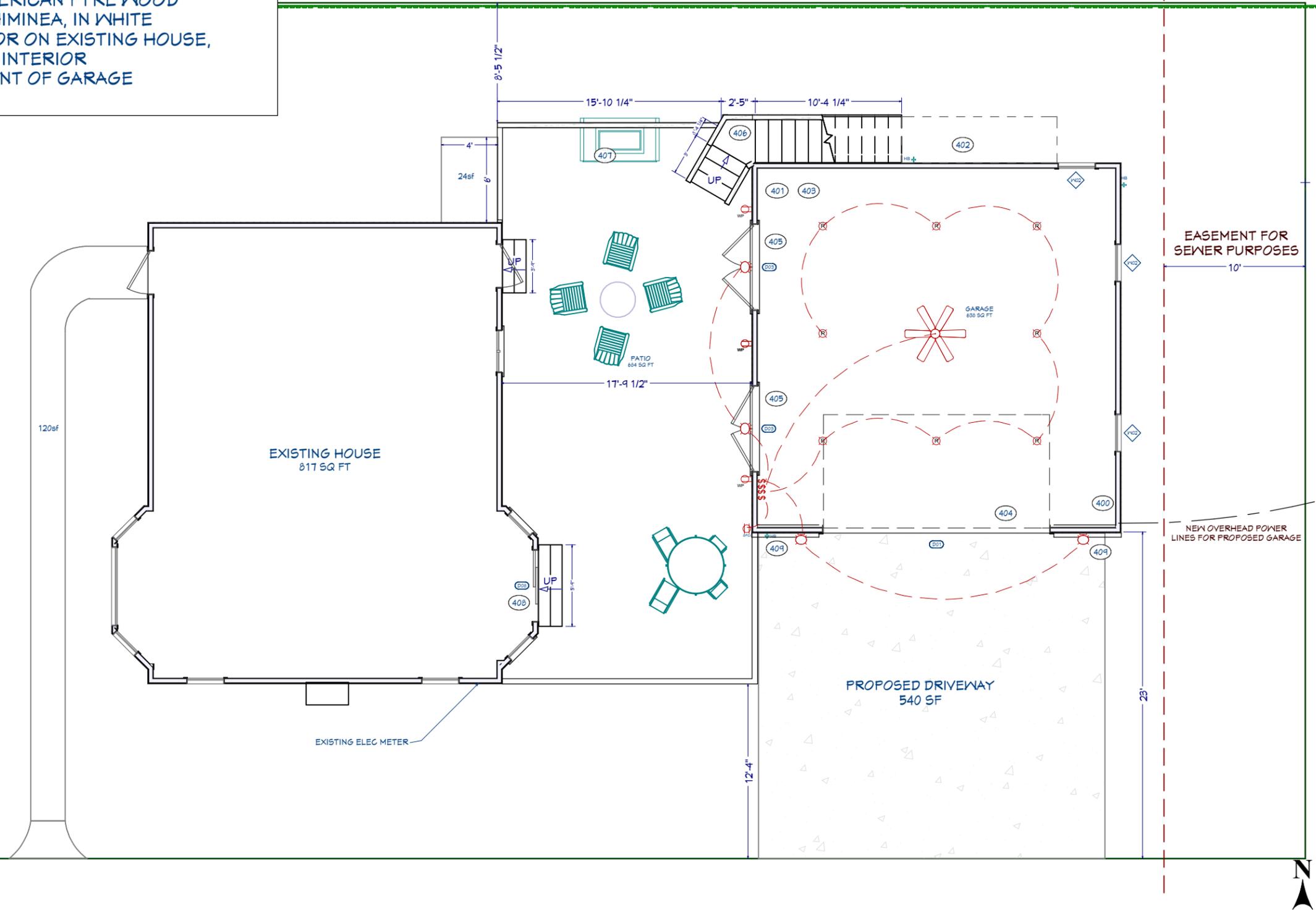
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**A5**

SCALE 1/8" = 1'-0"

**PLAN NOTES**

- 400 LOCATION FOR NEW ELECTRICAL 200AMP PANEL.
- 401 NEW OVERHEAD POWER LINES TO BE RAN FROM EAST STREET POLE TO NEW GARAGE ADDTION
- 402 LOCATION FOR NEW FURNACE
- 403 LOCATION FOR NEW AC UNIT ON 3'x3' SLAB ON GRADE
- 404 LOCATION FOR NEW WATER HEATER
- 405 NEW OVERHEAD GARAGE DOOR
- 406 NEW 6' FRENCH DOORS, BLACK EXTERIOR
- 407 NEW TREATED WOOD STEPS WITH BLACK ALUMINUM RAILING AND POSTS
- 408 NEW FREESTANDING AMERICAN FYRE WOOD BURNING FIREPLACE/ CHIMINEA, IN WHITE
- 409 REPLACE 6' FRENCH DOOR ON EXISTING HOUSE, BLACK EXTERIOR WHITE INTERIOR
- 36" WHITE BRICK AT FRONT OF GARAGE



  
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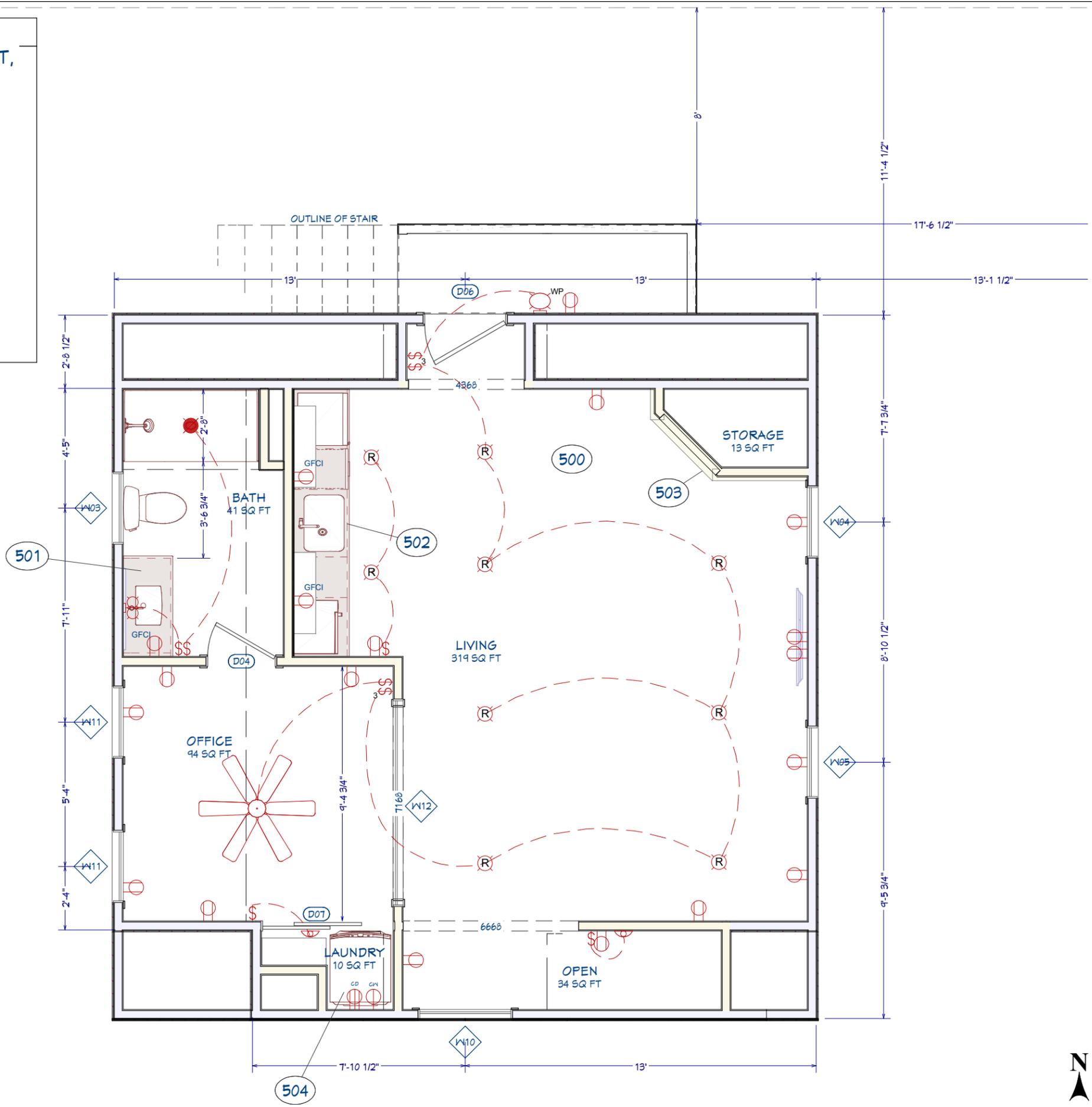
**GARAGE LEVEL PLAN**

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**A6**

SCALE 1/8" = 1'-0"

- PLAN NOTES**
- 500 PROVIDE ALL NEW FLOORING, PAINT, CABINETS, COUNTERTOPS, APPLIANCES, TRIM AND FIXTURES THROUGHOUT KITCHEN AND BATHROOM
  - 501 42" VANITY
  - 502 SINGLE BOWL KITCHENETTE SINK
  - 503 CUSTOM BUILT INS
  - 504 STACKABLE LAUNDRY HOOKUPS, INSULATE



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**SECOND LEVEL PLAN**

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**A7**

SCALE 1/8" = 1'-0"



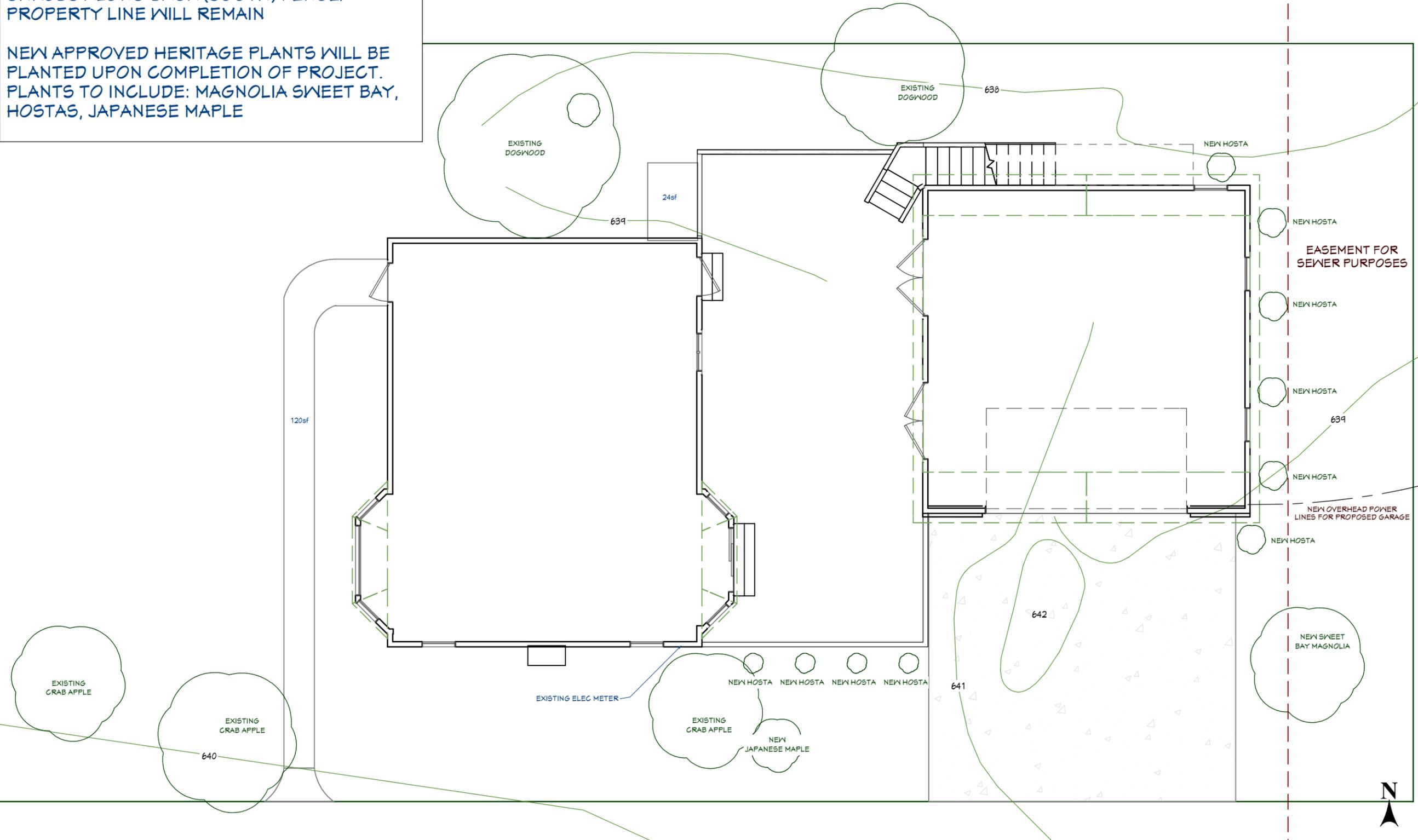
**LANDSCAPE NOTES**

NO TREES WILL BE REMOVED DURING SCOPE OF PROJECT

SHRUBS WILL BE REMOVED AROUND EXISTING DRIVEWAY TO ALLOW FOR PROPER GRADING FOR PROPOSED GARAGE ADDITION

SHRUBS ALONG BACK (SOUTH) FENCE/ PROPERTY LINE WILL REMAIN

NEW APPROVED HERITAGE PLANTS WILL BE PLANTED UPON COMPLETION OF PROJECT. PLANTS TO INCLUDE: MAGNOLIA SWEET BAY, HOSTAS, JAPANESE MAPLE



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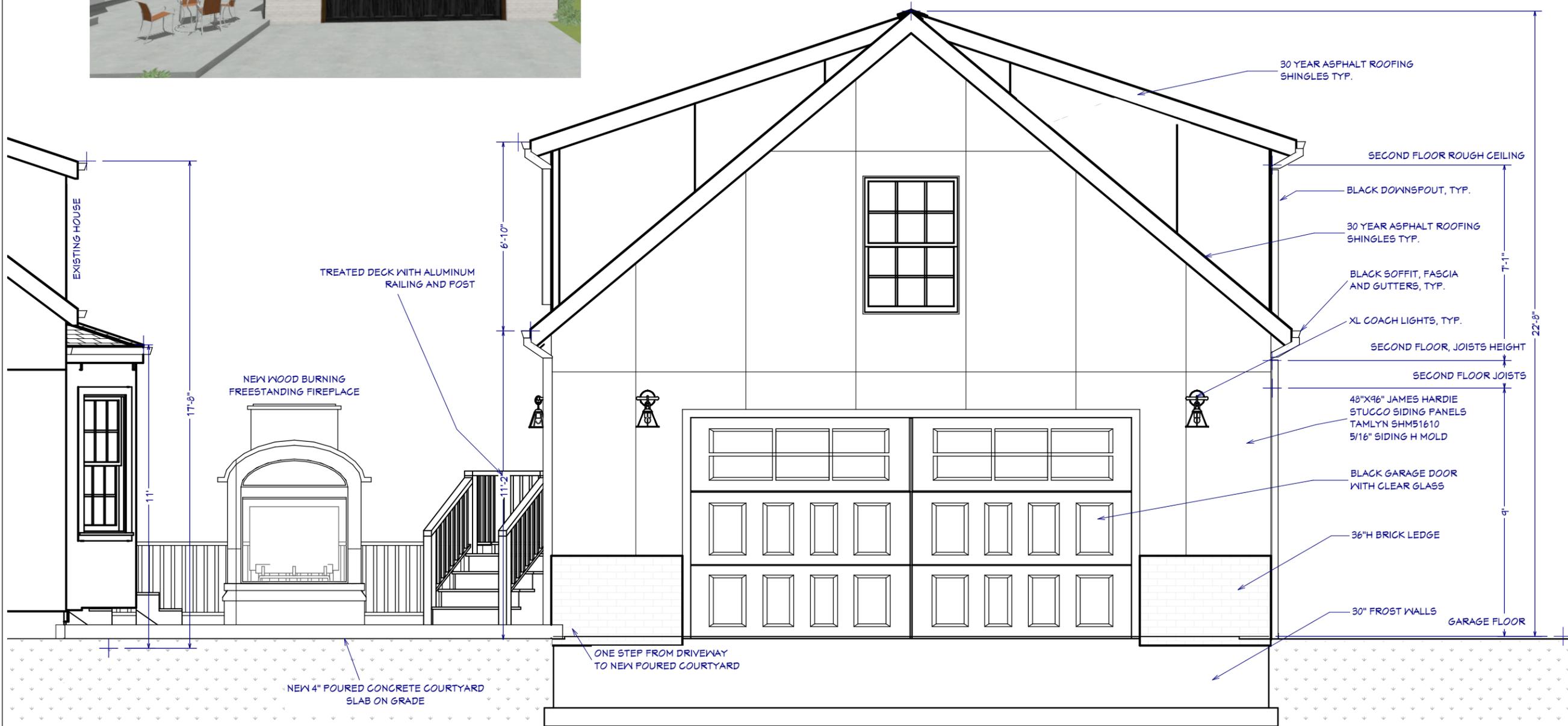
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**LANDSCAPE PLAN**

PROJECT NUMBER	0000
DATE	5/20/2023
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**A8**

SCALE 1/8" = 1'-0"



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FRONT  
ELEVATION

PROJECT NUMBER 0000

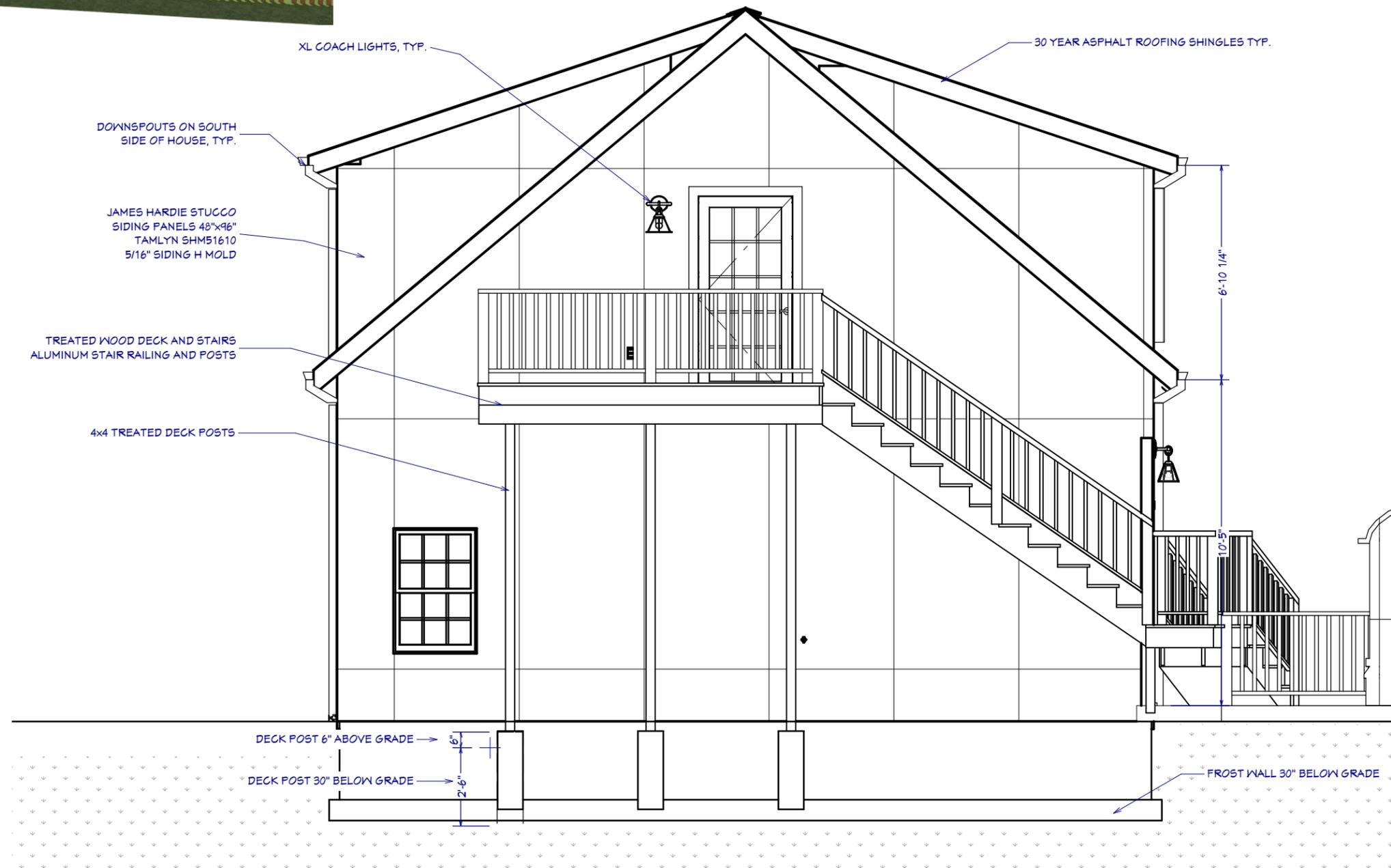
DATE 5/20/2023

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DRAWN BY Sierra L

A9

SCALE 1/4" = 1'-0"



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**REAR ELEVATION**

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**A10**

SCALE 1/4" = 1'-0"



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SIDE  
 ELEVATION

PROJECT NUMBER 0000

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DRAWN BY Sierra L

A11

SCALE 1/4" = 1'-0"





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SIDE  
 ELEVATION

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DRAWN BY	Sierra L

A12

SCALE 1/4" = 1'-0"

